

IF IN DOUBT ASK!

LEGEND	
	BENCH MARK
	PHOTO POINT
	GULLY PIT
	VEHICULAR CROSSING
	TOP OF BANK
	BOTTOM OF BANK

ABBREVIATIONS	
EB	- ELECTRICAL BOX
EM	- ELECTRICAL METER
GM	- GAS METER
H	- HYDRANT
R	- HYDRANT RECYCLED
KO	- KERB OUTLET
LP	- LIGHT POLE
LH	- LAMP HOLE
MH	- MAN HOLE
PP	- POWER POLE
SH	- SHRUB
SMH	- SEWER MAN HOLE
SIO	- SEWER INSPECTION OPENING
SV	- STOP VALVE
SR	- STOP VALVE RECYCLED
SVP	- SEWER VENT PIPE
SWP	- STORM WATER PIT
T	- TREE
TP	- TELECOMMUNICATIONS PIT
VER	- VERANDAH
WT	- WATER TAG
WM	- WATER METER
WMR	- WATER METER RECYCLED
WC, GC, EC, TC	- SERVICE CONDUIT
W/C	- WATER CLOSET

SOURCE OF LEVELS	
SSM 181879	RL 85.76
S.C.I.M.S	

- WARNING -
UNREGISTERED PLAN

- 1) THIS CONTOUR AND DETAIL SURVEY IS BASED UPON AN UNREGISTERED PLAN.
- 2) ALL BOUNDARIES AND EASEMENTS ARE UNREGISTERED AND MAY BE AMENDED TO SUIT THE REQUIREMENTS OF COUNCIL OR THE LAND TITLES OFFICE.
- 3) THIS INFORMATION MUST BE VERIFIED UPON REGISTRATION
- 4) NO FURTHER INVESTIGATION HAS BEEN UNDERTAKEN TO DISCLOSE EASEMENTS ETC OMITTED FROM THE UNREGISTERED PLAN

DISCLAIMER

DONOVAN ASSOCIATES CAN ACCEPT NO LIABILITY FOR ANY LOSS OR DAMAGE HOWSOEVER ARISING, TO ANY PERSON OR CORPORATION, DUE TO OMISSIONS, ERRORS OR VARIATIONS ON THE UNREGISTERED PLAN. COPIES OF THIS CONTOUR PLAN MUST NOT BE REPRODUCED WITHOUT THIS NOTICE

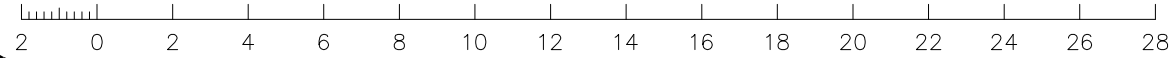
NOTE

THIS SURVEY IS FOR CONTOUR PURPOSES ONLY SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY.

1. CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.
2. DIMENSIONS SHOWN (BEARINGS & DISTANCES) HAVE BEEN DETERMINED BY LAND AND PROPERTY INFORMATION PLANS ONLY. BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED.
3. SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO DETERMINE EXACT POSITION OF ANY UNDERGROUND PIPES, CABLES ETC.
4. DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE.

SEWER LEVEL	TBC
INVERT LEVEL	TBC

Scale 1:200 - Lengths are in Metres.

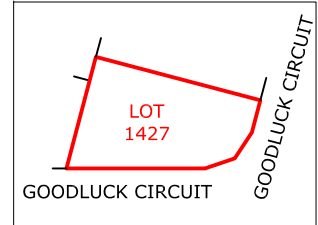


NOTE: TERMITE PROTECTION TO BE HOMEGUARD BLUE TERMITE SYSTEM AND PHYSICAL PROTECTION TO PENETRATIONS.

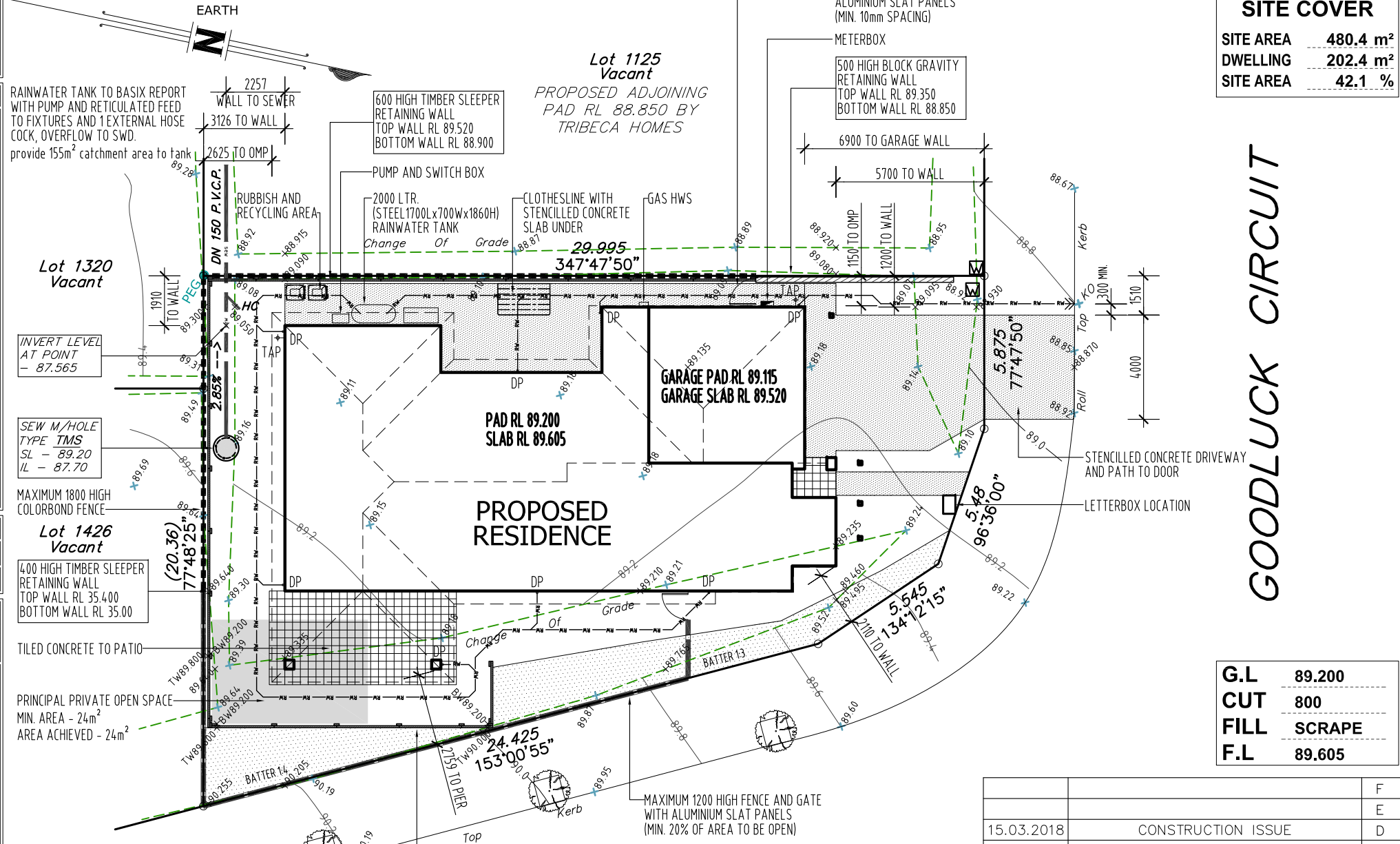
RAINWATER TANK/ STORMWATER NOTES:
ALL STORMWATER PIPES TO BE CONNECTED IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS.
PROVIDE ABLE-FLEX OR SIMILAR APPROVED PRODUCT BETWEEN SLAB & ADJOINING SURFACE FINISH (TYP)

NOTE: FINAL PAD LEVEL TO BE CONFIRMED ON SITE. SITE CUT & FILL BATTERS ARE APPROXIMATE ONLY AND MAY VARY DUE TO SITE AND SOIL CONDITIONS.

SEDIMENT CONTROL BARRIER AND CROSSOVER AS REQUIRED FOR CONSTRUCTION PURPOSES
STORMWATER TO FRONT KERB WITH APPROVED KERB ADAPTOR OR TO GULLY TRAP WHEN PROVIDED AT REAR



SITE COVER	
SITE AREA	480.4 m ²
DWELLING	202.4 m ²
SITE AREA	42.1 %



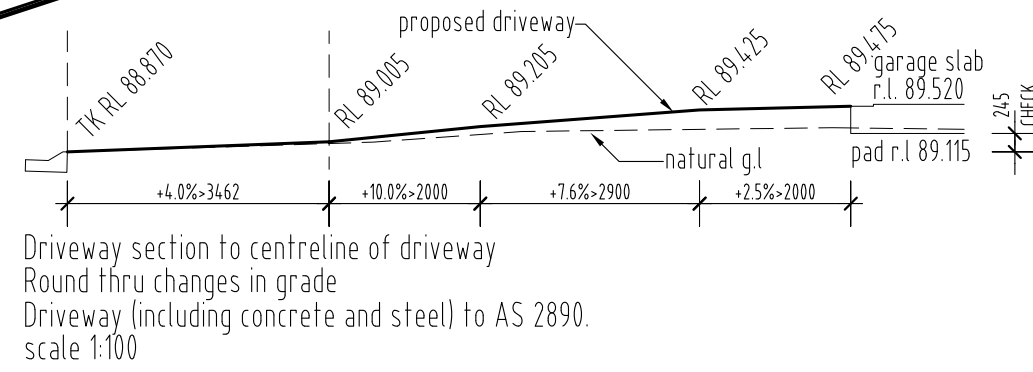
GOODLUCK CIRCUIT

G.L	89.200
CUT	800
FILL	SCRAPE
F.L	89.605

DATE	DESCRIPTION	AM'T
15.03.2018	CONSTRUCTION ISSUE	F
21.12.2017	REVISED ENGINEERING	E
26.10.2017	CERTIFIER ISSUE	D
07.12.2016	TENDER ISSUE	C
		B
		A

REVISIONS

GOODLUCK CIRCUIT
CONSTRUCTION COPY



CONTOUR SURVEY PLAN

CLIENT: X. MENG

SITE ADDRESS:
Lot 1427
Goodluck Circuit
COBBITTY

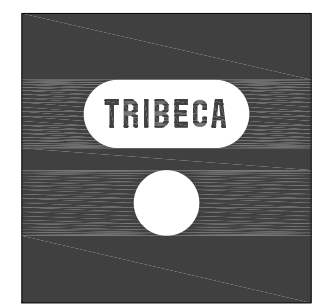
REAL PROPERTY DESCRIPTION

Lot: 1427
on: DP 1209996
Parish of: Cook
County of: Cumberland
Area: 480.4 m²
UBD Ref: Map - Ref -
Local Authority: CAMDEN C. C.
Contour Interval: 0.20m
Datum: -

LEGEND

	LIGHT POLE		FENCE
	ORIGINAL PEG		ROCK RETAINING WALL
	TEMPORARY BENCH MARK		TIMBER RETAINING WALL
	POWER POLE		STORM WATER PIPE
	FIRE HYDRANT		GAS SUPPLY
	AIR VALVE		BARRIER KERB LINE
	SEWER MANHOLE		SURVEY CONTROL MARK
	ROOFWATER PIT		STORMWATER MANHOLE
	POWER BOX		PERMANENT SURVEY MARK
	TELSTRA PIT		GULLY GRATE
	CROSS-OVER		WATER TAP/WATER/VALVE
	HEADWALL		SIGN (AS SHOWN)
	SEWER LINE		STORMWATER LINE
	TOP OF BANK		ELECTRIC POWER LINE
	BOTTOM OF BANK		

Disclaimer:
The position of Fence Lines, Retaining Walls and other detail is Indicative only and should not be relied upon as depicting the Boundary Lines. This is a plan of VISIBLE SERVICES ONLY. The location of pegs found have NOT BEEN CHECKED and as such should not be relied on as marking the corners of the lot. An Identification Survey should be carried out prior to any construction works.

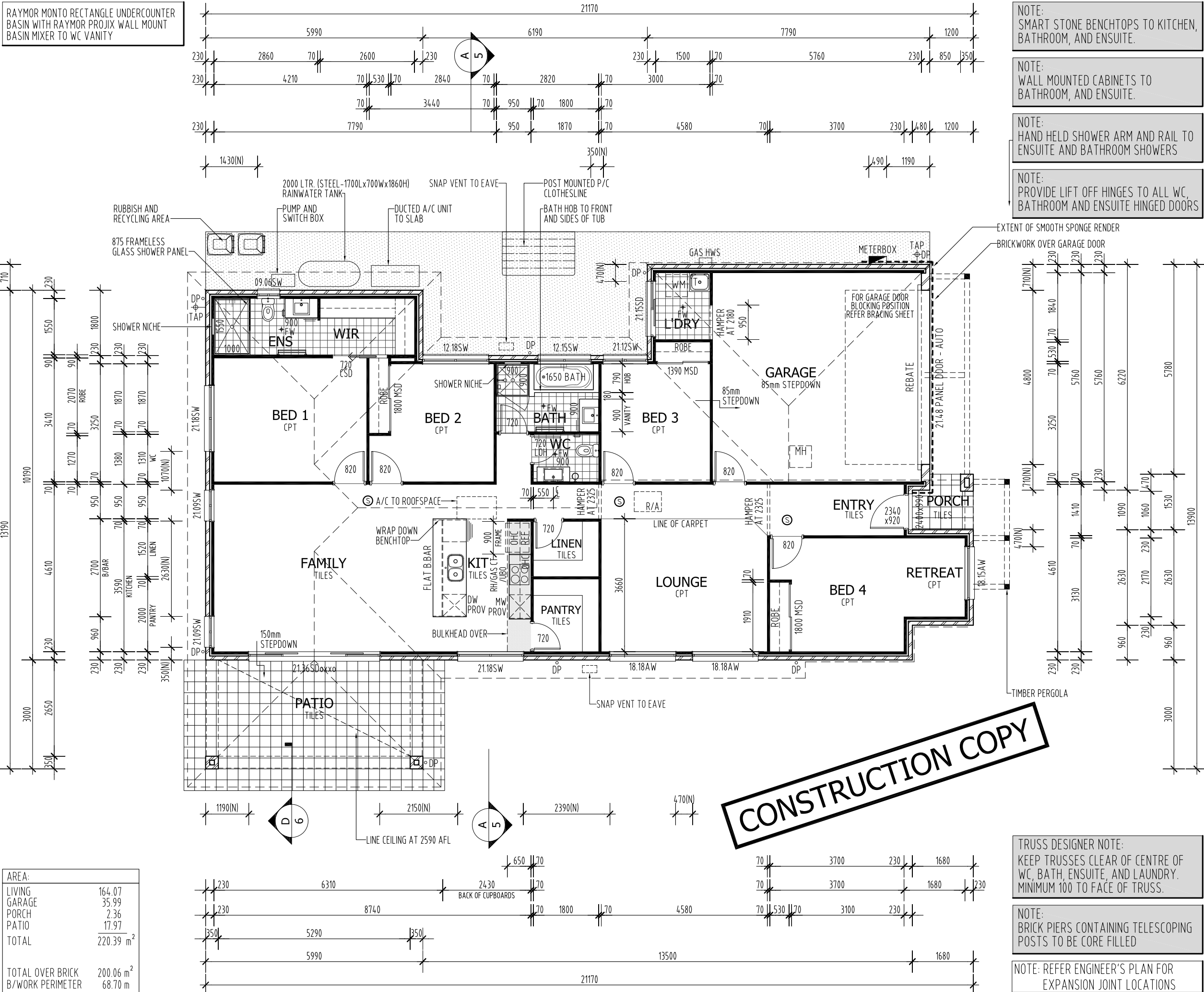


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A3 SCALE: 1:200
DATE DRAFTED: 26.10.2017

JOB NO. 4036 D PLAN NO. REV Sheet 1 of 12

RAYMOR MONTO RECTANGLE UNDERCOUNTER BASIN WITH RAYMOR PROJIX WALL MOUNT BASIN MIXER TO WC VANITY



AREA:	
LIVING	164.07
GARAGE	35.99
PORCH	2.36
PATIO	17.97
TOTAL	220.39 m ²
TOTAL OVER BRICK B/WORK PERIMETER	200.06 m ²
	68.70 m

NOTE: SMART STONE BENCHTOPS TO KITCHEN, BATHROOM, AND ENSUITE.

NOTE: WALL MOUNTED CABINETS TO BATHROOM, AND ENSUITE.

NOTE: HAND HELD SHOWER ARM AND RAIL TO ENSUITE AND BATHROOM SHOWERS

NOTE: PROVIDE LIFT OFF HINGES TO ALL WC, BATHROOM AND ENSUITE HINGED DOORS

- GENERAL NOTES:
- CONCRETE CONSTRUCTION TO COMPLY WITH AS2870.1 AND AS3600.
 - TERMITE TREATMENT TO COMPLY WITH THE PROVISIONS OF PART 3.1.3 OF THE NCC AND WITH AS3660.1
 - TIMBER CONSTRUCTION TO COMPLY WITH AS1684.
 - STEEL ROOFING TO COMPLY WITH AS1562.1.
 - WET AREAS TO COMPLY WITH THE PROVISIONS OF PART 3.8.10 OF THE NCC.
 - WEEPHOLES IN MASONRY WALLS AT 1200 MAX. CTRS.
 - GLASS INSTALLATION TO COMPLY WITH AS1288 AND AS2047.
 - Ⓢ DENOTES SMOKE DETECTOR; SMOKE ALARMS TO COMPLY WITH THE PROVISIONS OF PART 3.7.2 OF THE NCC.
 - MANHOLE POSITION APPROX. ONLY. DETERMINE ON SITE.
 - PROVIDE ALCOR BARRIER BETWEEN LEAD FLASHING AND ZINCALUME VALLEY GUTTER AS REQUIRED.
 - PROTECTION OF MASONRY WALL TIES TO COMPLY WITH THE PROVISIONS OF PART 3.3.3.2 OF THE NCC
 - PROTECTION OF LINTELS IN MASONRY TO COMPLY WITH THE PROVISIONS OF PART 3.3.3.4 OF THE NCC.

- LEGEND
- AFL ABOVE FLOOR LEVEL
 - B/BAR BREAKFAST BAR
 - CSD CAVITY SLIDING DOOR
 - CT COOK TOP
 - DH DOUBLE HUNG
 - DP DOWNPIPE
 - DW DISHWASHER
 - FC FIBRE CEMENT
 - FG FIXED GLASS
 - HOB TILED HOB AT BATH HEIGHT
 - HWS HOT WATER SYSTEM
 - LOH LIFT OFF HINGE
 - MH 600X600 NOM. MANHOLE
 - MSD MIRROR SLIDING ROBE DOORS
 - REF REFRIGERATOR SPACE
 - RH RANGEHOOD
 - SW SLIDING WINDOW
 - SD SLIDING DOOR
 - T TUB
 - UBO UNDER BENCH OVEN
 - VSD VINYL FACED SLIDING DOORS
 - WM WASHING MACHINE SPACE
 - OBS OBSCURE GLAZED GLASS



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DESIGN
BOWERY 200 - MOD - F3.6

CLIENT
 X. MENG

LOT 1427 GOODLUCK CIRCUIT
 HARMONY ESTATE
 COBBITTY

DRAWN AS DATE 26.10.2017

SCALE 1:100 WIND RATING N2

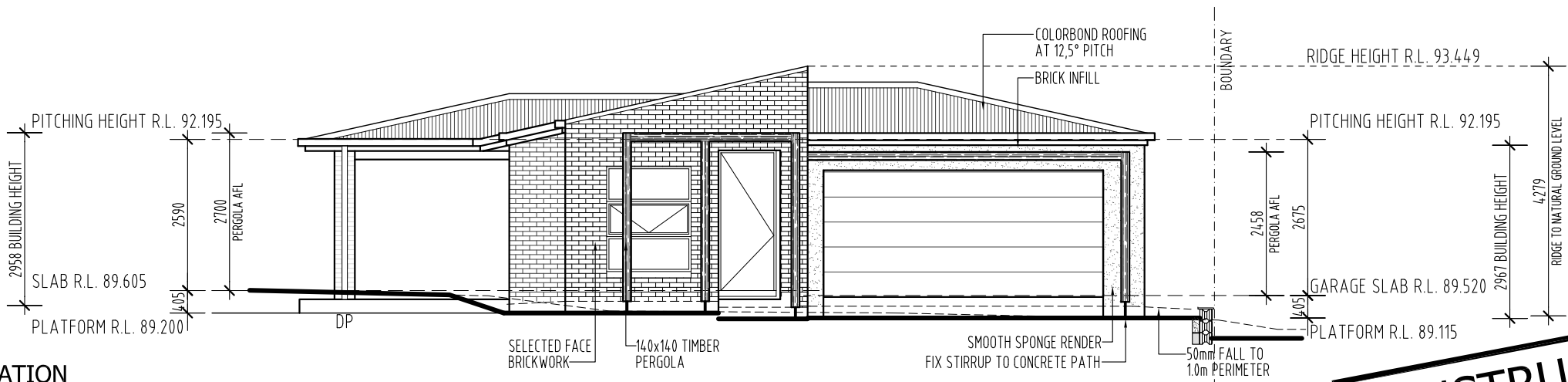
JOB No. 4036 D SHEET 2 of 12

CONSTRUCTION COPY

TRUSS DESIGNER NOTE:
 KEEP TRUSSES CLEAR OF CENTRE OF WC, BATH, ENSUITE, AND LAUNDRY.
 MINIMUM 100 TO FACE OF TRUSS.

NOTE:
 BRICK PIERS CONTAINING TELESCOPING POSTS TO BE CORE FILLED

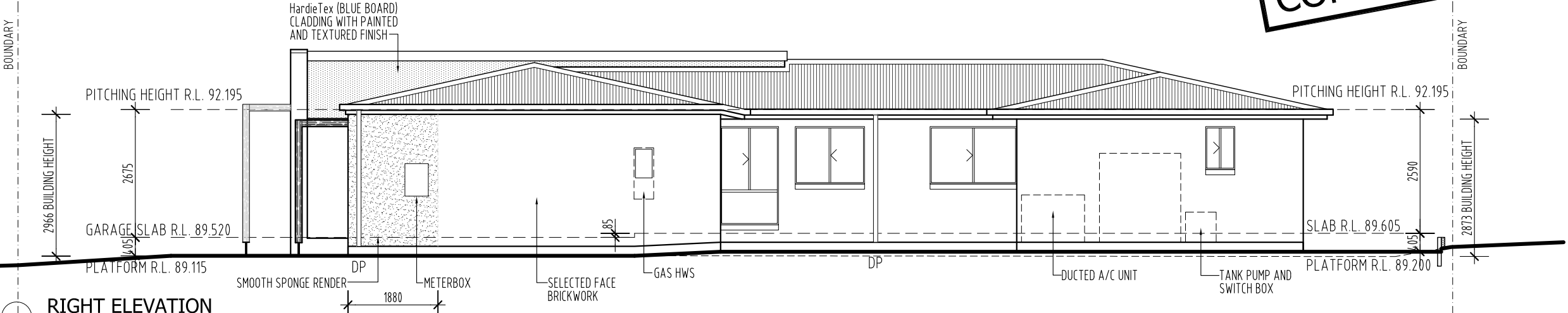
NOTE: REFER ENGINEER'S PLAN FOR EXPANSION JOINT LOCATIONS



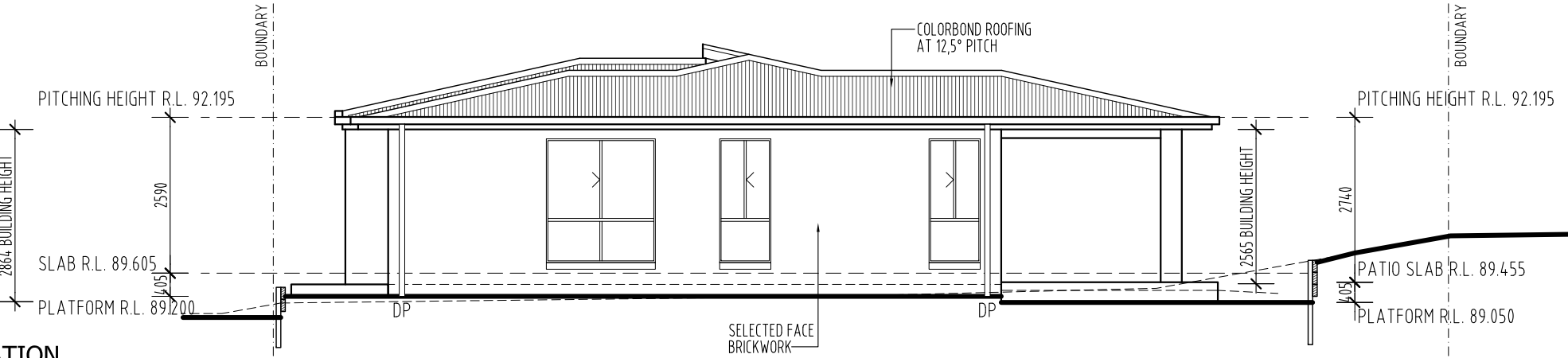
FRONT ELEVATION

CONSTRUCTION COPY

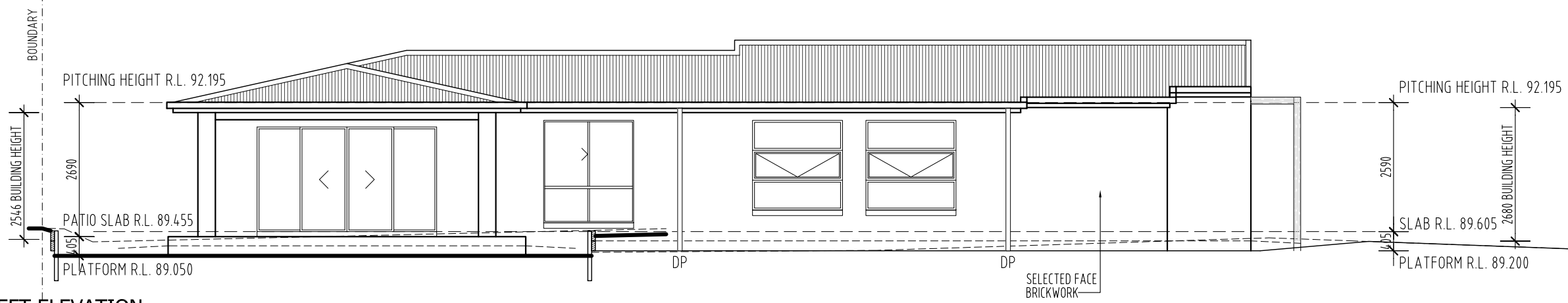
- GENERAL NOTES:
- CONCRETE CONSTRUCTION TO COMPLY WITH AS2870.1 AND AS3600.
 - TERMITE TREATMENT TO COMPLY WITH THE PROVISIONS OF PART 3.13 OF THE NCC AND WITH AS3660.1
 - TIMBER CONSTRUCTION TO COMPLY WITH AS1684.
 - STEEL ROOFING TO COMPLY WITH AS1562.1
 - WET AREAS TO COMPLY WITH CLAUSE F1.7 OF THE NCC.
 - WEEPHOLES IN MASONRY WALLS AT 900 CTRS.
 - GLASS INSTALLATION TO COMPLY WITH AS1288 AND AS2047
 - STEEL ROOF FIXED IN ACCORDANCE WITH THE MANUF'S SPECIFICATIONS FOR RELEVANT CONDITIONS.
 - PROVIDE ALCOR BARRIER BETWEEN LEAD FLASHING AND ZINCALUME VALLEY GUTTER AS REQUIRED.
 - VERTICAL ARTICULATION JOINTS TO COMPLY WITH THE PROVISIONS OF PART 3.3.18 OF THE NCC.



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



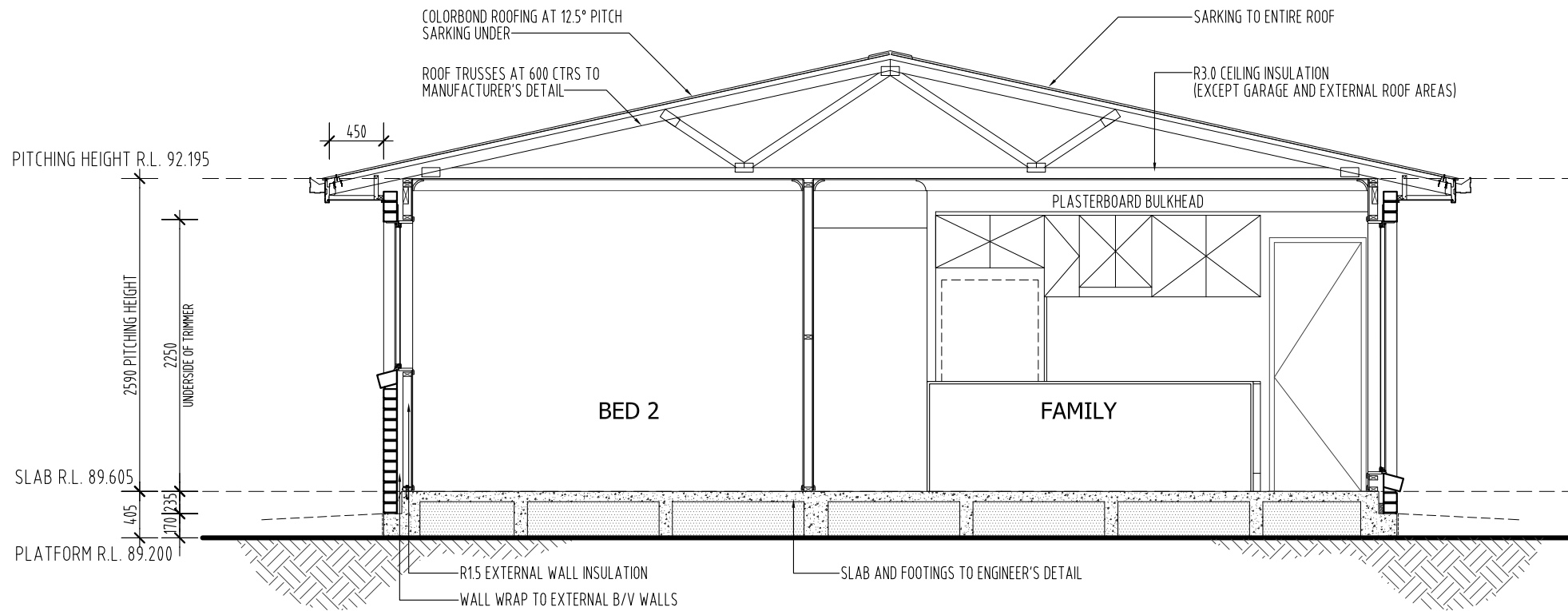
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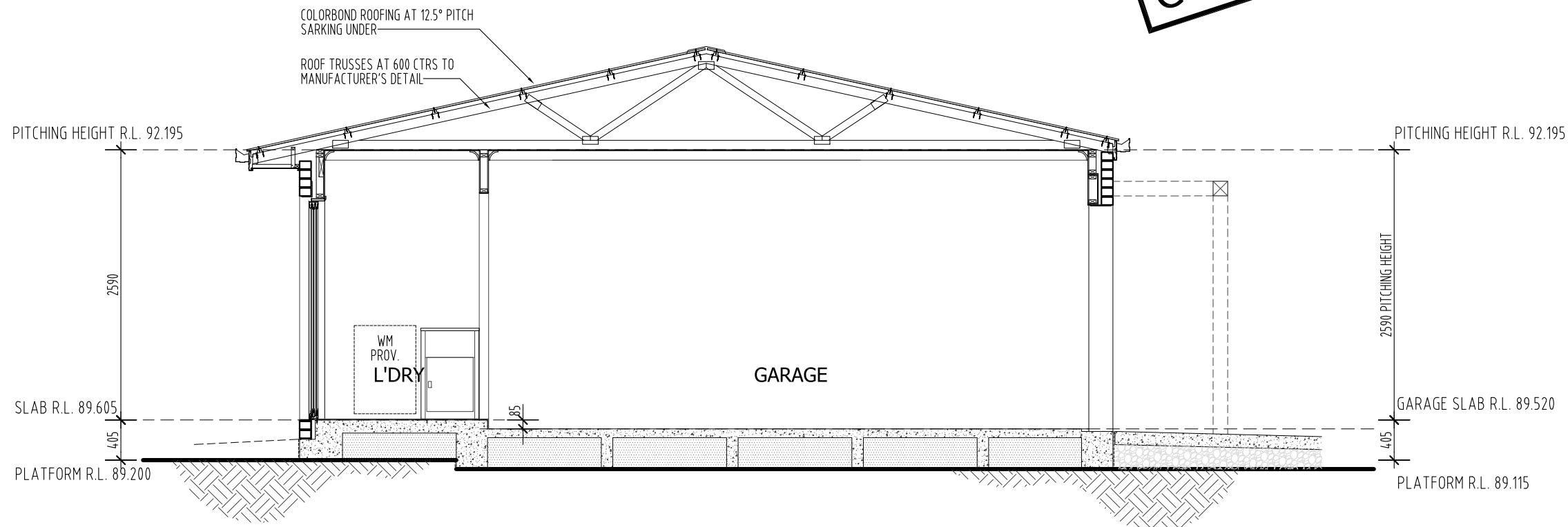
CLIENT
X. MENG
 LOT 1427 GOODLUCK CIRCUIT
 HARMONY ESTATE
 COBBITTY

DRAWN	AS	DATE	26.10.2017
SCALE	1:100	WIND RATING	N2
JOB No.	4036 D	SHEET	3 of 12



A SECTION 1:50

CONSTRUCTION COPY



B SECTION 1:50



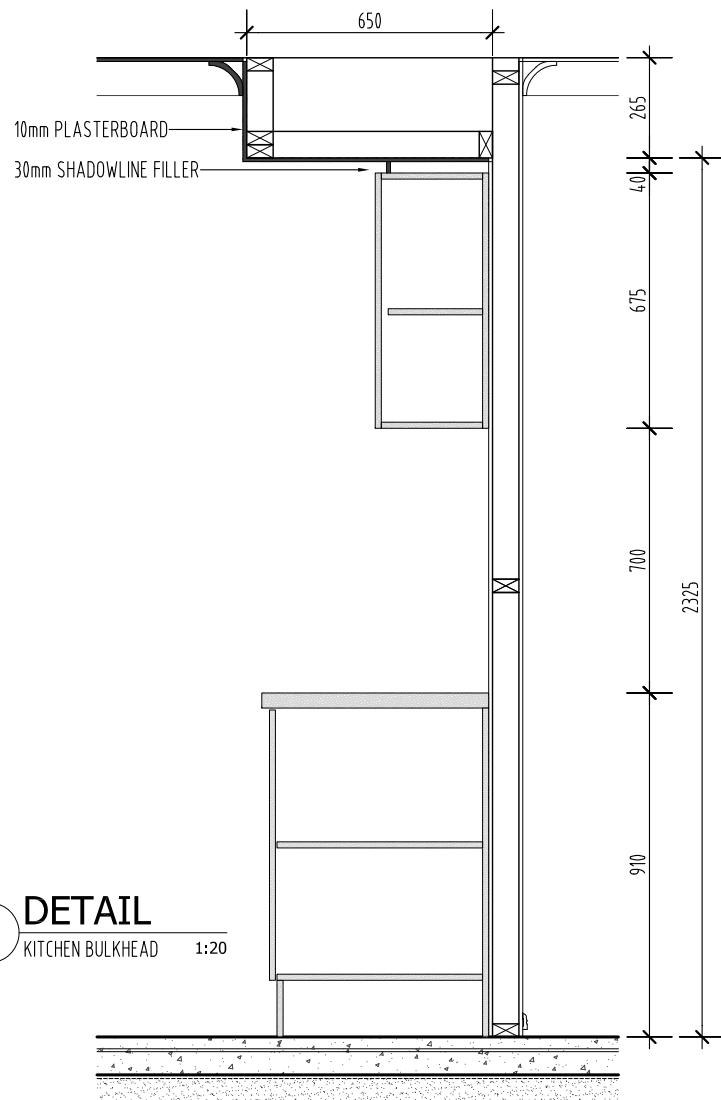
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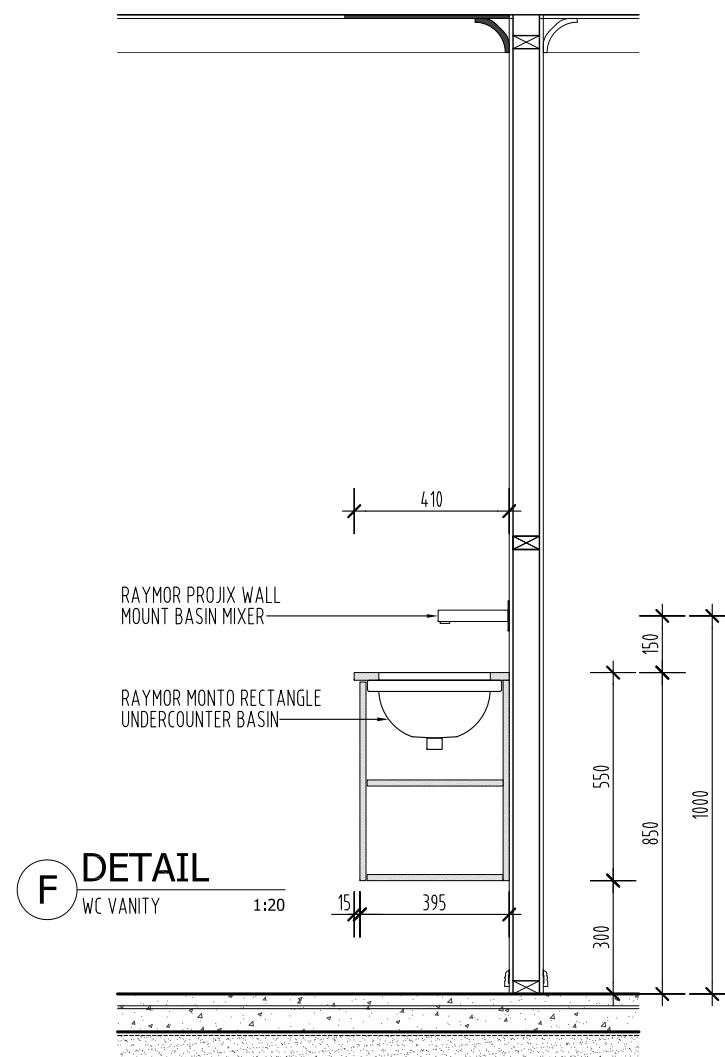
DESIGN
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X. MENG
 LOT 1427 GOODLUCK CIRCUIT
 HARMONY ESTATE
 COBBITTY

DRAWN	AS	DATE	26.10.2017
SCALE	1:50	WIND RATING	N2
JOB No.	4036 D	SHEET	5 of 12

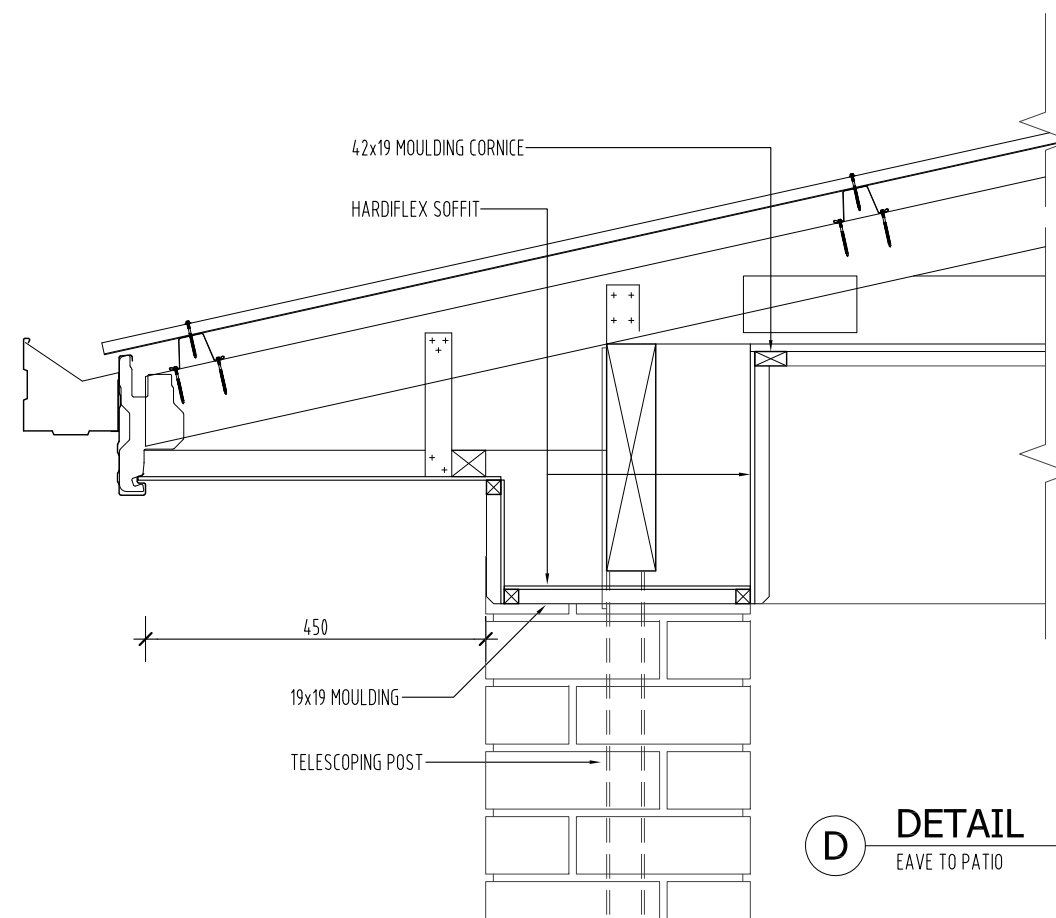


E DETAIL
KITCHEN BULKHEAD 1:20



F DETAIL
WC VANITY 1:20

CONSTRUCTION COPY



D DETAIL
EAVE TO PATIO 1:10

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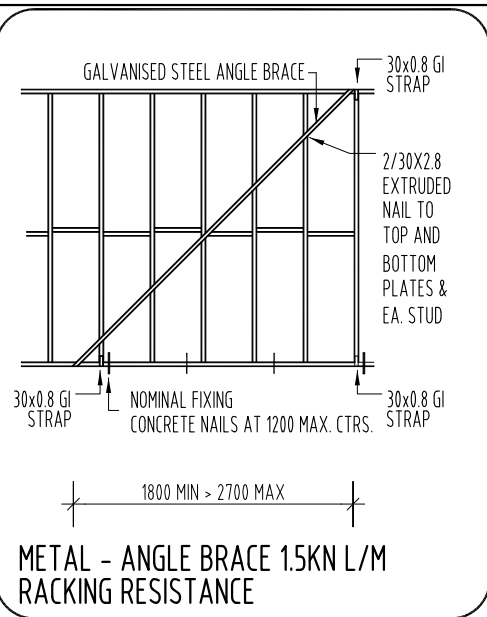
CLIENT
X. MENG

LOT 1427 GOODLUCK CIRCUIT
HARMONY ESTATE
COBBITTY

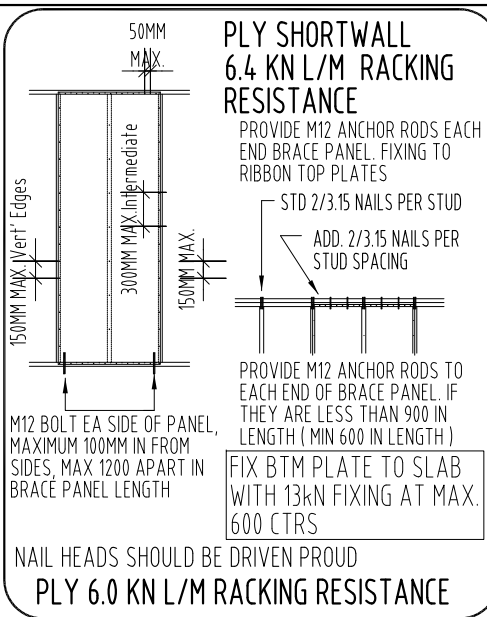
DRAWN	AS	DATE	26.10.2017
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SCALE	1:10, 1:20	WIND RATING	N2
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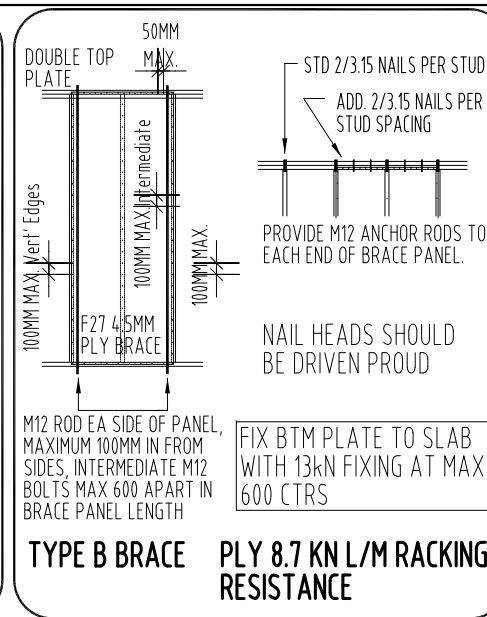
JOB No.	4036 D	SHEET	5 of 12
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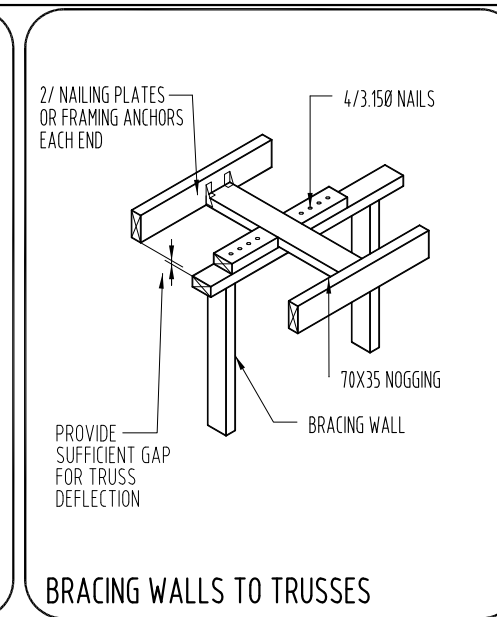
METAL - ANGLE BRACE 1.5KN L/M RACKING RESISTANCE



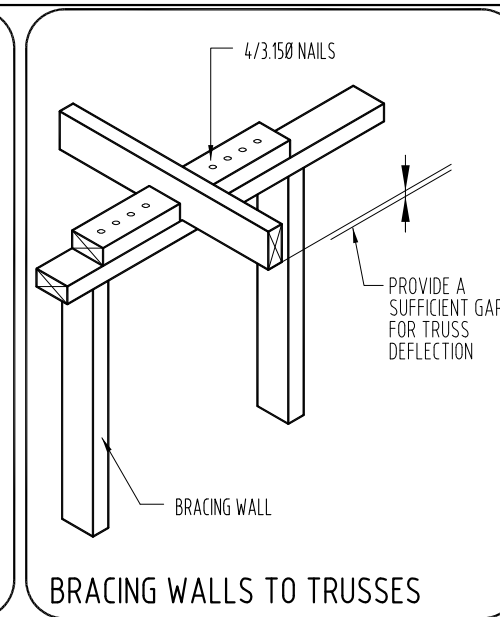
PLY SHORTWALL 6.4 KN L/M RACKING RESISTANCE



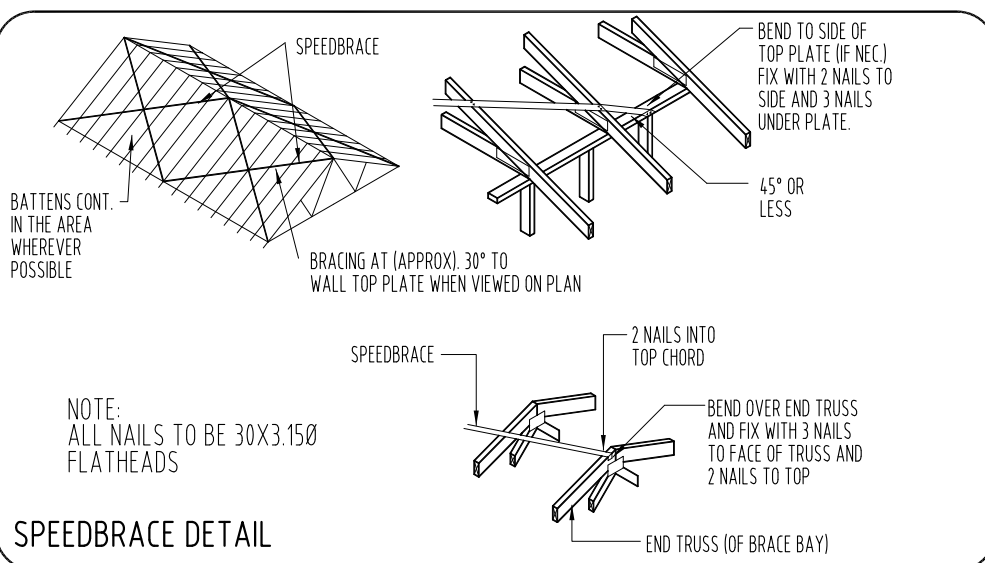
TYPE B BRACE PLY 8.7 KN L/M RACKING RESISTANCE



BRACING WALLS TO TRUSSES

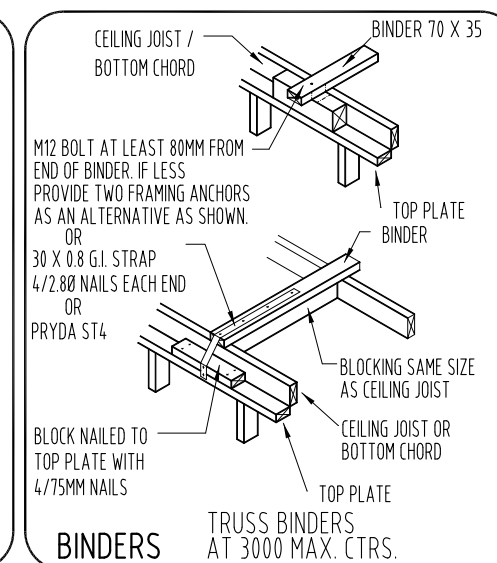
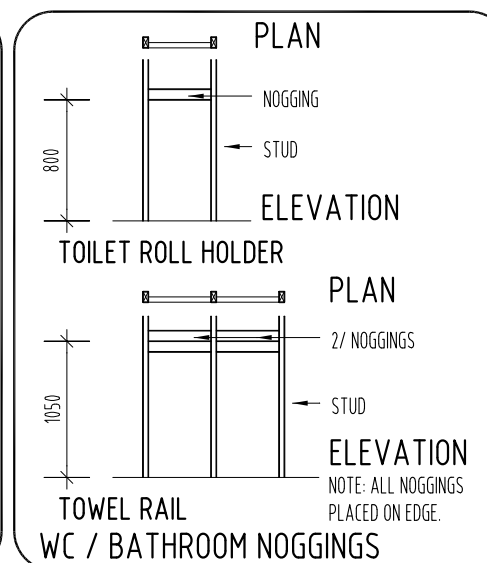


BRACING WALLS TO TRUSSES



SPEEDBRACE DETAIL

NOTE: ALL NAILS TO BE 30X3.15Ø FLATHEADS



BINDERS TRUSS BINDERS AT 3000 MAX. CTRS.

- ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH- THE BUILDING CODE OF AUSTRALIA AND WITH AS 1684.
- TERMITE TREATMENT TO COMPLY WITH THE PROVISIONS OF PART 3.1.3 OF THE NCC AND WITH AS3660.1.
- CONCRETE CONSTRUCTION TO COMPLY WITH AS2870.1 / AS3600.
- TIMBER CONSTRUCTION TO COMPLY WITH THE PROVISIONS OF PART 3.4.3 OF THE NCC AND AS1720.1 / AS1684.
- CONCRETE ROOFING TO COMPLY WITH AS1757, AS2050 AND BE FIXED TO MANUFACTURER'S SPEC'S FOR RELEVANT CONDITIONS.
- STEEL ROOFING TO COMPLY WITH AS1562.1.
- WEEPHOLES IN MASONRY WALLS AT 1200 CTRS. MAX.
- VERTICAL ARTICULATION IN MASONRY WALLS TO COMPLY WITH THE PROVISIONS OF AS 3700
- WET AREAS TO COMPLY WITH THE PROV. OF PART 3.8.1 OF THE NCC.
- SMOKE ALARMS TO COMPLY WITH THE PROVISIONS OF PART 3.7.2 OF THE NCC.
- WALL BRACING TO COMPLY WITH THE PROVISIONS OF PART 3.4.3.8 OF THE NCC. + AS 1684.
- ENSURE SHEAR BLOCKS ARE OF A SUFFICIENT LENGTH TO AVOID POSSIBLE SPLITTING.
- GLASS INSTALLATION TO COMPLY WITH AS1288, AND AS2047.

TIE DOWN CALCULATION - N2 NON- CYCLONIC (ULW=6000)		AS 1684		GENERAL NOTES	
MEMBER CONNECTION - JD4 TYP. u.n.o	UPLIFT REQ.	UPLIFT RESIST	ROOF FRAMING	SOFFIT LININGS	
METAL ROOF TO BATTENS: TO MANUFACTURER'S SPECIFICATIONS			METAL ROOF SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO SUIT ROOF BATTENS SHALL BE SUPPLIED METAL BATTENS FIXED AS MANUFACTURER'S SPECIFICATIONS. ENTIRE ROOF SHALL BE TRUSS CONSTRUCTION AT 600 CTRS. MAX. DESIGNED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO SUIT N2 CONDITIONS UNLESS NOTED OTHERWISE ON PLANS CEILING BINDERS SHALL BE 70x35 F5 AT 3000 CTRS. MAXIMUM.	SOFFIT BEARERS @ EACH TRUSS TAIL WITH 4.5mm F.C SHEETS NAILED AT 225 CTRS WITHIN 1200 OF EXTERNAL BUILDING CORNERS AND AT 300 CTRS ELSEWHERE. NOTE:- USE 2.0 X 30mm GALV. FIBRE CEMENT NAILS	
ROOF BATTENS TO TRUSSES: TO MANUFACTURER'S SPECIFICATIONS.			CONCRETE	WALL FRAMING	
ROOF TRUSSES TO TOP PLATE: @ 600 CRS 1 No. FRAMING ANCHOR WITH 4/2.8Ø NAILS MIN. TO EACH LEG AT INTERFACE OR: MULTI GRIPS OR: CYCLONE STRAPS FIXED TO PL. WITH 3/2.8Ø NAILS	Table 9.13 2.6kN	Table 9.21(b) 3.50kN	REFER TO ENGINEER'S DETAILS. PROVIDE CONTINUOUS 200µm POLYTHENE VAPOUR BARRIER LAPPED 200 MIN. AND SEALED AT ALL JOINTS AND PENETRATIONS. PROVIDE TERMITE CONTROL IN ACCORDANCE WITH A.S. 3660.1	MGP10 PINE FRAME TO LOAD BEARING WALLS 70 x 35 FRAME - STUDS AT 450 CTRS NOT NOTCHED - ONE ROW OF NOGGINGS	
WALL FRAMING - GROUND FLOOR: TOP AND BOTTOM PLATES TO STUDS: @ 450 CRS PLATES UP TO 38mm THICK - 2/75mm NAILS PLATES 38-50mm THICK - 2/90mm NAILS NAILS THRU PLATE IN BOTH CASES. NOGGINGS TO STUDS: 2/75mm NAILS SKEW NAILED OR THRU NAILED. BOTTOM PLATES TO CONCRETE SLAB: NAILS AT MAX. 1200 CTRS. SCREW AND M12 ROD AT NOT MORE THAN 1200 CTRS. OR CHEMICAL, EXPANSION OR FIRED PROP. FASTENERS. BOTTOM PLATE TO JOISTS: PLATES UP TO 38mm THICK - 2/75mm NAILS PLATES 38 - 50mm THICK - 2/90mm NAILS RIBBON PLATE TO TOP PLATE - REFER TO AS 1684.2	NOM. FIXING AS PER AS 1684.2 TABLE 9.4	NOM. FIXING AS PER AS 1684.2 TABLE 9.4	BRICKWORK	TOP PLATES 70x35 MGP12 NOT NOTCHED ADD - RIBBON PLATE 70 x 35 MGP12	
	2.6kN	4.20kN	APPROVED BRICK TIES AT 600 x 600 CTS. MAX. STAGGERED. BRICKWORK SHALL HAVE APPROVED DAMP COURSE NOT LESS THAN 2 COURSES ABOVE GROUND LEVEL. PROVIDE APPROVED CAVITY FLASHING WITH WEEPHOLES AT 900mm CTRS. MAXIMUM.	MGP10 PINE FRAME TO NON LOAD BEARING WALLS AND PARTITIONS	
	2.6kN	4.70kN	LININGS	70 x 35 FRAME - STUDS AT 450 CTRS - ONE ROW NOGGINGS - TOP AND BOTTOM PLATES	
	5.3kN	20.0kN	CEILING SHALL BE LINED WITH 10mm THICK SUPACEIL LINING FOR FRAME SPACING OF 600mm AND 10mm THICK PLASTERBOARD FOR FRAME SPACINGS OF 450mm (eg UNDERSIDE OF FIRST FLOOR JOISTS). WALLS SHALL BE LINED WITH 10mm THICK PLASTERBOARD OR 6mm THICK VILLABOARD TO WET AREAS. FIXED @ 300 CTRS OR 200 CTRS WHEN TILED. REFER TO BRACING PLANS FOR POSSIBLE VARIATIONS TO WALL LININGS OR FIXING METHODS. ALL ABOVE LININGS SHALL APPLY UNLESS NOTED OTHERWISE ON FLOOR PLANS.	PROVIDE SOLID NOGGINGS SUPPORT BELOW FIRST FLOOR BOTTOM PLATE. WALL NOGGING AT 1350mm CTRS. MAXIMUM. PROVIDE ADDITIONAL NOGGING TO SUIT TOILET ROLL HOLDERS, TOWEL RAILS, ETC...SEE DETAILS ABOVE.	
COMMON STUD SPACING (mm)	NUMBER OF COMMON STUDS AT SIDES OF OPENINGS OF WIDTH (mm)		STUD CORNER DETAIL		
	900	1200	1500	1800	2100
	2400	2700	3000	3300	3600
450	1	2	2	2	3
	3	3	3	4	4
600	1	1	2	2	2
	3	3	3	4	4

NOTE: STRESS GRADES, SPACINGS, AND TIEDOWN TO BE READ IN CONJUNCTION WITH SUPPLIERS INFORMATION. IN THE EVENT OF A CONFLICT, SUPPLIERS INFORMATION PREVAILS.

CONSTRUCTION COPY

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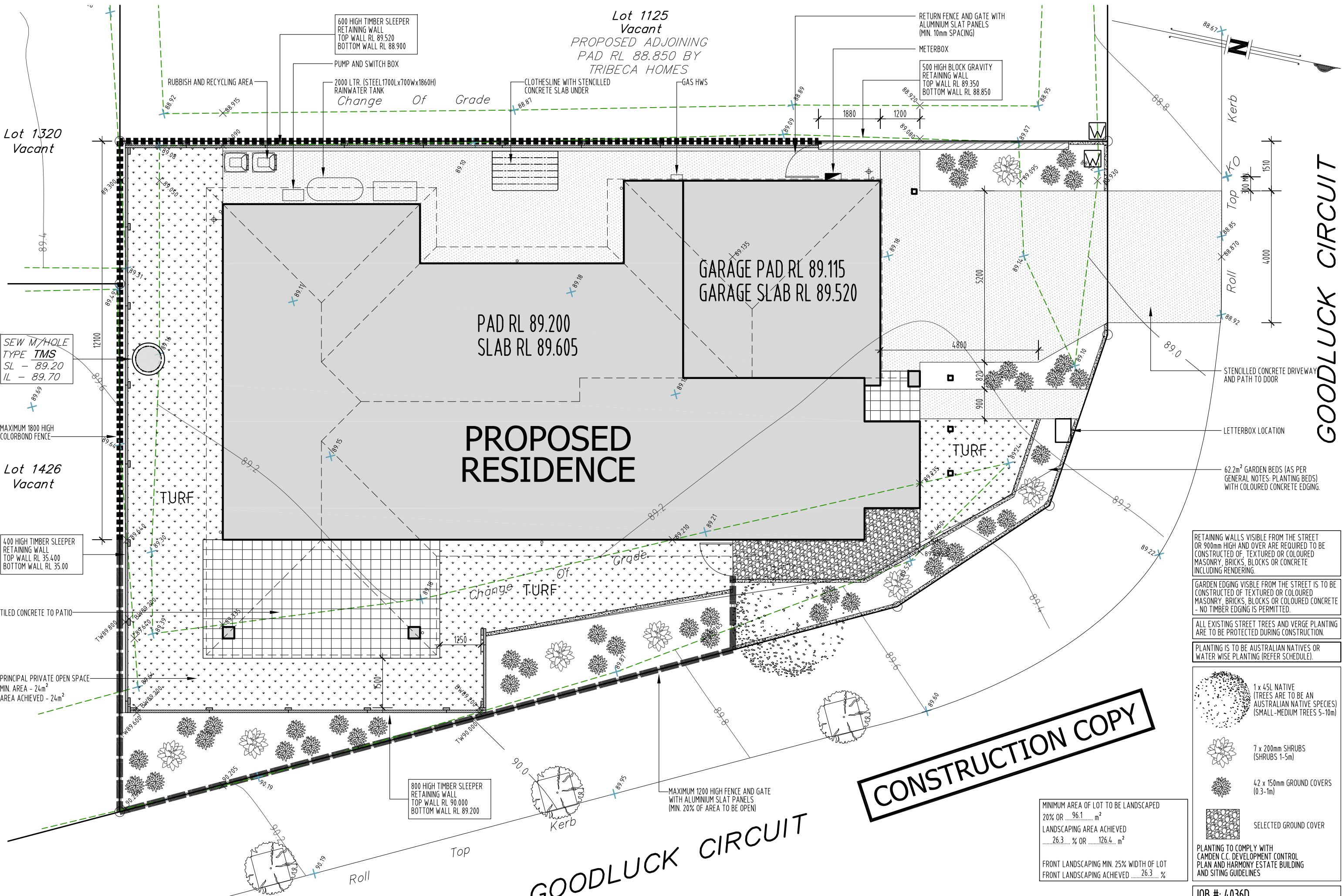
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DESIGN
BOWERY 200 - MOD - F3.6

CLIENT
X. MENG

LOT 1427 GOODLUCK CIRCUIT
HARMONY ESTATE
COBBITTY

DRAWN	AS	DATE	26.10.2017
SCALE	-	WIND RATING	N2
JOB No.	4036 D	SHEET	6 of 12



GOODLUCK CIRCUIT





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RETAINING WALLS VISIBLE FROM THE STREET OR 900mm HIGH AND OVER ARE REQUIRED TO BE CONSTRUCTED OF TEXTURED OR COLOURED MASONRY, BRICKS, BLOCKS OR CONCRETE INCLUDING RENDERING.

GARDEN EDGING VISIBLE FROM THE STREET IS TO BE CONSTRUCTED OF TEXTURED OR COLOURED MASONRY, BRICKS, BLOCKS OR COLOURED CONCRETE - NO TIMBER EDGING IS PERMITTED.

ALL EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.

PLANTING IS TO BE AUSTRALIAN NATIVES OR WATER WISE PLANTING (REFER SCHEDULE).

-  1 x 45L NATIVE (TREES ARE TO BE AN AUSTRALIAN NATIVE SPECIES) (SMALL-MEDIUM TREES 5-10m)
 -  7 x 200mm SHRUBS (SHRUBS 1-5m)
 -  42 x 150mm GROUND COVERS (0.3-1m)
 -  SELECTED GROUND COVER
- PLANTING TO COMPLY WITH CAMDEN C.C. DEVELOPMENT CONTROL PLAN AND HARMONY ESTATE BUILDING AND SITING GUIDELINES

MINIMUM AREA OF LOT TO BE LANDSCAPED	20% OR 96.1 m ²
LANDSCAPING AREA ACHIEVED	26.3% OR 126.4 m ²
FRONT LANDSCAPING MIN. 25% WIDTH OF LOT	
FRONT LANDSCAPING ACHIEVED	26.3%

SEW M/HOLE
TYPE TMS
SL - 89.20
IL - 89.70

MAXIMUM 1800 HIGH
COLORBOND FENCE

Lot 1426
Vacant

400 HIGH TIMBER SLEEPER
RETAINING WALL
TOP WALL RL 35.400
BOTTOM WALL RL 35.00

TILED CONCRETE TO PATIO

PRINCIPAL PRIVATE OPEN SPACE
MIN. AREA - 24m²
AREA ACHIEVED - 24m²

GOODLUCK CIRCUIT

SMALL TREES (5-10m) - (E) Exotic, (N) Native, (F) Fire Retardant		
Common Name	Botanical Name (Exotic/Native)	Features
Lemon Scented Ironwood	<i>Backhousia citriodora</i> (N)	Grown for its masses of flowers and scented as a hedge or feature tree with attractive creamy white flowers.
Coastal Banksia	<i>Banksia integrifolia</i> (N)	Bright flower arrangements contrast with its otherwise drab green colouration.
Ivory Curl Flower	<i>Buckinghamia celsissima</i> (N)	Attractive foliage and flowers, attracts birds.
Native Frangipani	<i>Hymenosporum flavum</i> (N) (F)	Upright open tree fragrant yellow flowers in spring. Prefers well drained site. Attracts insects.
Scrub Cherry	<i>Syzygium australe</i> (N)	Popular screening plant, glossy foliage, white flowers followed by red fruits summer to autumn. Attracts birds, bats and possums.
Golden Penda	<i>Xanthostemon chrysanthus</i> (N)	Excellent ornamental tree with golden yellow flower heads contrasting well with dark glossy foliage when in flower during winter months.
Blueberry Ash	<i>Elaeocarpus reticulatus</i> (N) (F)	Grows to a mature size of 6-8m high and 3-4m wide but can be clipped to a smaller size. It has a dense crown of foliage and a loose conical shape. Bird attracting.
Lilly-pilly	<i>Acmena smithii</i> (N) (F)	White fluffy flowers in summer, masses of dark pink, edible fruit in winter, leaves dark green. Mature height 10m, width 4-6m. Roots can travel up to 6-7m chasing water but acclimatise to dry conditions quite well.
Rowan	<i>Sorbus aucuparia</i> (E) (F)	Delicate pinnate foliage and clusters of attractive white flowers followed by small red fruits. Height 7m, width 4m. Prefers a well drained, acid soil that is irrigated during hot, dry periods. Root system is sensitive to compaction.



Elaeocarpus reticulatus (N) (F) Hymenosporum flavum (N) (F) Acmena smithii (N) (F) Sorbus aucuparia (E) (F)



Backhousia citriodora (N) Banksia integrifolia (N) Syzygium australe (N) Buckinghamia celsissima (N)



Xanthostemon chrysanthus (N) Abelia grandiflora (N) Banksia spinulosa (N) Doryanthes palmeri (N)



Melaleuca Linariifolia (N) Eremophila alternifolia (N) (F) Hibiscus cvs (N) (F) Teucrium fruticans (E) (F) Agapanthus 'Dutch Blue Giant' (N) (F)



Dianella Longifolia (N) (F) Myoporum parvifolium (N) (F) Scaevola aemula (N) (F) Gazania sp. (E) (F)



Agave attenuata (E) Dietes bicolor & grandiflora (E) Philodendron 'Xanadu' (E)

SHRUBS (1-5m) - (E) Exotic, (N) Native, (F) Fire Retardant		
Common Name	Botanical Name (Exotic/Native)	Features
Glossy abelia	<i>Abelia grandiflora</i> (N)	Thick mature foliage is golden to cream variegated with outer margins yellow green. 1-2m high, 1-2m wide.
Golden Candlesticks	<i>Banksia spinulosa</i> (N)	Spiky foliage and showy golden flower spikes, favourite of nectar-eating birds and gliders. Mature up to 0.5m high, 1m wide.
Spear Lily	<i>Doryanthes palmeri</i> (N)	Leaves are long in a large tussock and flowers on a tall stem are red. Leaves up to 3m long and flowering stalk up to 5m high.
Claret Tops	<i>Melaleuca Linariifolia</i> (N)	Bears white (cream) flowers, attractive profuse flowering rounded shrubs which are bird attracting. Mature height 1-1.2m, width 0.6-0.8m.
Poverty bush	<i>Eremophila alternifolia</i> (N) (F)	Shrub with narrow leaves and reddish pink tubular flowers in winter and spring (some have white or yellow flowers). Mature height 2-3m, spread 2-3m. Attracts honeyeaters.
Hibiscus	<i>Hibiscus cvs</i> (N) (F)	Fantastic all year round colour. Quick growing native Hibiscus can grow to 3m high and 3m wide. Prefers full sun but will grow in part shade.
Dutch Blue Giant	<i>Agapanthus 'Dutch Blue Giant'</i> (N) (F)	Hardy evergreen. The stems are taller (up to 2m) and stronger, with larger flower heads are big and bold. Foliage grows 1.2m tall and 80cm wide. Flowers in summer. Full sun to semi shade. Drought tolerant.
Blue Germander	<i>Teucrium fruticans</i> (E) (F)	A spreading evergreen shrub with aromatic, blue-grey/green foliage and pretty mauve-blue flowers on square grey stems. Very hardy plant that enjoys full sun. Can be clipped for hedging. Matures to 1.2m high, 1.8m wide. Drought tolerant once established.

GROUND COVERS AND GRASSES (up to 1m) - (E) Exotic, (N) Native, (F) Fire Retardant		
Common Name	Botanical Name (Exotic/Native)	Features
Pale Flax Lily	<i>Dianella Longifolia</i> (N) (F)	Small lily of open eucalypt forest, blue flowers, bright blue berries, suits rockery of foreground planting. Drought tolerant. Mature size 30-80cm x 50cm. Tolerance: Dry, Shade.
Creeping Boobialla	<i>Myoporum parvifolium</i> (N) (F)	Fleshy green leaves and white flowers in summer, both frost and drought tolerant. Has trailing stems to about 1m or more. Grows to about 1m in height and the width is unlimited. Can be hedged or formally shaped.
Fairy Fan Flower	<i>Scaevola aemula</i> (N) (F)	small shrub grows to 50cm and produces white or blue flowers in spikes up to 24cm long. Prefers sunny or partially shaded, well drained position. Tolerates salt spray and periods of drought.
Gazania	<i>Gazania sp.</i> (E) (F)	Produces large, daisy-like composite flowers in brilliant shades of yellow and orange. Drought tolerant. Mature height to 15cm, width to 30cm. Attracts birds.
Wild Iris	<i>Dietes bicolor & grandiflora</i> (E)	Flowers yellow, white/mauve. Has arching leaves from 0.75-1m.
Philodendron	<i>Philodendron 'Xanadu'</i> (E)	Leaves are usually large and imposing, often lobed or deeply cut.
Agaves	<i>Agave attenuata</i> (E)	Sculptural succulent.

GENERAL NOTES:-
Planting Beds
 Remove all unwanted building material from site.
 Cultivate ground to minimum depth of 100mm.
 Supply and spread minimum 200mm layer of organic soil mix to gardens.
 Crown beds at centre.
 Finalise soil level 100mm below raised kerb areas where applicable.
 Mulch gardens with minimum 75mm 'Forest Blend' organic mulch.
 Supply and place plants according to Plant Schedule and location on drawing.
 Ensure slow release pellet type fertilizer to manufacturers specification.

GARDEN CHARACTER
 Shall be predominately native shrub hedges to path / driveway edge punctuated by accent planting eg. feature tree specimens (note plant list).
 Garden area shall follow the structure above with a cohesive layout and selection of plant species from the suggested list.
 Plants of same species should be hedged or massed within designated planting beds to create a defined garden structure.
 Feature specimen trees in lawn shall be placed as focal points to the property frontage, suggested species are attached.

Consolidation
 The landscape contractor shall consolidate the works and make good all defects for a period of 6 weeks after practical completion and shall leave the works in a clean and tidy condition.
 Grass and Plants shall be watered so as to ensure continuous healthy growth.
 Weeds and rubbish shall be regularly removed from planted areas.
 Replace all plants that are unhealthy or dead for any reason whatsoever.
 Replacements shall be of a similar size and quality and identical species or variety to the plant which has failed unless otherwise directed and replace immediately the plant is dead, all at the landscaper contractors own expense.
 Generally protect mulched and planted areas from damage, either malicious, irresponsible or accidental. Reinstatate damaged areas to the original specifications.



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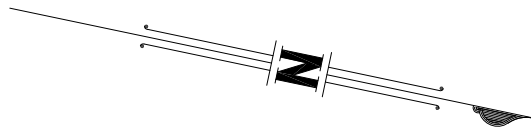
DESIGN
BOWERY 200 - MOD - F3.6

CLIENT
X. MENG

LOT 1427 GOODLUCK CIRCUIT
HARMONY ESTATE
COBBITTY

DRAWN	AS	DATE	26.10.2017
SCALE		WIND RATING	N2
JOB No.	4036 D	SHEET	9 of 12

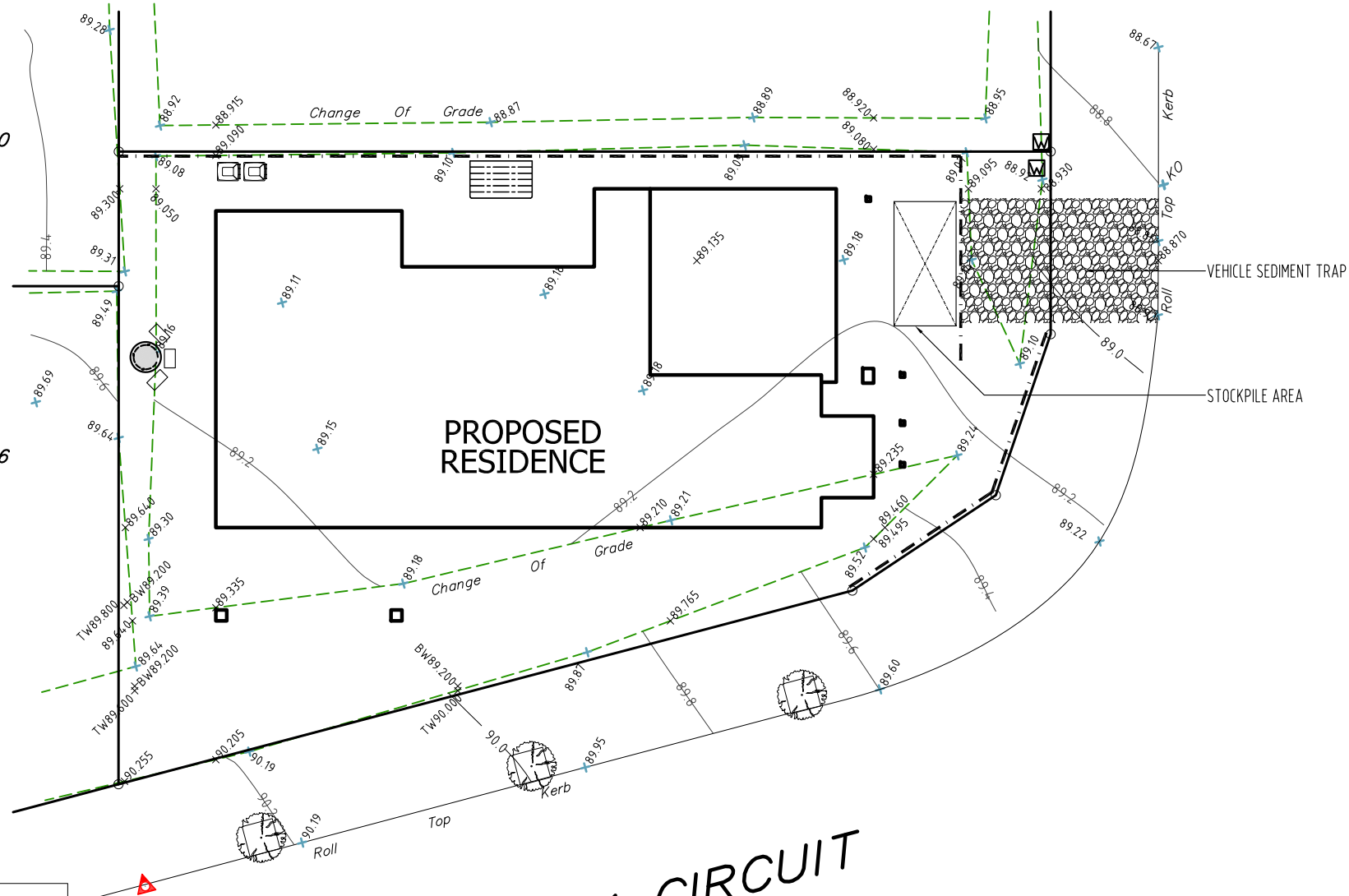
Turfing
 Remove all unwanted materials from site.
 Cultivate ground to a minimum depth of 100mm.
 Supply and spread premium grade topsoil (AS2223) to a minimum depth of 50mm fill depressions and rake smooth.
 Finished turf surface shall be flush with all adjacent finish surfaces.
Garden / Lawn Edges
 Continuous concrete edging



Lot 1125
Vacant
PROPOSED ADJOINING
PAD RL 88.850 BY
TRIBECA HOMES

Lot 1320
Vacant

Lot 1426
Vacant



GOODLUCK CIRCUIT



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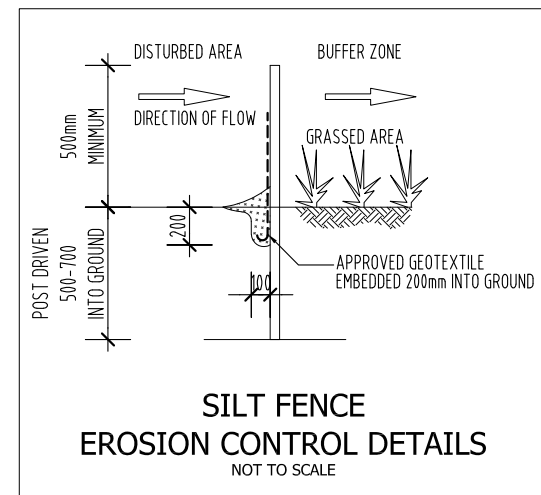
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HARMONY ESTATE
COBBITTY

DRAWN	AS	DATE	26.10.2017
SCALE	1:200	WIND RATING	N2
JOB No.	4036 D	SHEET	10 of 12

LEGEND

	DIVERSION CHANNEL
	SILT FENCE (REFER DETAIL)
	HAY BALES OR SAND BAGS



GOODLUCK CIRCUIT

CONSTRUCTION COPY

BASIX Compliance Requirements

PROJECT DETAILS		
Project Name	4036 Lot 1427 Goodluck Circuit	
Street Address	Lot 1427 Goodluck Circuit	
Town or Suburb	Gregory Hills	
Postcode	2557	
Local Government Area	Camden City Council	
Project Type	Single Dwelling House	
Number of Bedrooms	4	
BASIX Certificate Number	905927S_02	Tue. 06. Mar. 2018
NatHERS Certificate Number	0002517431-01	06. Mar. 2018

SITE DETAILS	
Site Area (m ²)	480
Roof Area (m ²)	246
Conditioned Floor Area (m ²)	141
Unconditioned Floor Area (m ²)	44
Unconditioned Floor Area - Garage (m ²)	35
Total Area of Garden and Lawn (m ²)	152
Swimming Pool being Installed	No
Spa being Installed	No

NOTE:
Materials/Manufacturers specified may be substituted for equal or better values as required by Tribeca Homes

NOTE:
EER - Energy Efficiency Ratio (Rated Capacity Cooling / Rated Input Cooling) AS/NZS3823.12
COP - Coefficient of Performance (Rated Capacity Heating / Rated Input Heating) AS/NZS3823.12

WATER COMMITMENTS	
Low Water Use Landscaped Area	Yes - Throughout 23sqm of the site
Shower Head Rating	3 Star (>7.5 but <= 9 L/min)
Toilet Flushing System Rating	4 Star
Kitchen Taps Rating	4 Star
Bathroom Taps Rating	5 Star
On Demand Hot Water Reticulation	-
Rainwater Tank Capacity	2000 Litre
Roof Area to be Connected to Tank (m ²)	155
Rainwater Tank to be Connected to	All Toilets, at Least 1 Outdoor Tap and Cold Water for Washing Machine
Reticulated Water Supply	No
Reticulated Water Supply Connected to	Nil
Greywater System Installed	No

THERMAL COMMITMENTS	
Additional Insulation Required to be Installed	Minimum (R-value)
Floor - Concrete Slab on Ground	Nil
External Walls - Brick Veneer	3.0 including Construction Insulation Batts, R1.5 Wall Wrap
External Walls (Garage) - Brick Veneer	Min. 110mm single skin brick, no insulation
External Walls - Cladding	-
Internal Wall Shared with Garage and Laundry	R1.5 Insulation Batts
Ceilings - Flat Ceiling	ceiling: R3.0 (up) Insulation Batts
Ceilings - Porch, Patio and Garage	-
Roof - Pitched Roof	Metal Roof Double sided foil (R0.15 up and R0.16 down)
Roof - Colours	Light colour
Windows	Given values are AFRC, total window system values)
Aluminium Framed Single Clear Glazing	
ALM-001-01 A	U-Value: 6.70 (eq. or lower), SHGC: 0.57 (±10%)
ALM-002-01 A	U-Value: 6.70 (eq. or lower), SHGC: 0.70 (±10%)

ENERGY COMMITMENTS	
Hot Water System	Gas instantaneous - 6 Star
Cooling System	
Living Areas	1-Phase Air Conditioning: EER 3.28
Bedroom Areas (In at least 1 Bedroom)	1-Phase Air Conditioning: EER 3.28
Install Day/Night Zoning	Refer to BASIX Certificate
Heating System	
Living Areas	1-Phase Air Conditioning: COP 3.63
Bedroom Areas (In at least 1 Bedroom)	1-Phase Air Conditioning: COP 3.63
Install Day/Night Zoning	Refer to BASIX Certificate
Ventilation Systems	
Bathrooms (At least 1 Bathroom)	Exhaust Fan (Not Ducted) - Manual On/Off Switch
Kitchen	Rangehood Fan (Not Ducted) - Manual On/Off Switch
Laundry	Natural Ventilation Only
Artificial Lighting	
Bedrooms / Study (4)	Fluorescent or LED Lamps
Living / Dining (1)	Fluorescent or LED Lamps
Kitchen	Fluorescent or LED Lamps
Bathrooms / Toilets	Fluorescent or LED Lamps
Laundry	Fluorescent or LED Lamps
Hallways	Fluorescent or LED Lamps
Ceiling Penetrations	(Total Maximum Number)
Sealed	31
Unsealed	-
Total	31
Natural Lighting	
Kitchen	Provided by Windows (1)
Bathrooms / Toilets	Provided by Windows (2)
Other Requirements	
Cooking Equipment	Gas Cooktop and Electric Oven
Outdoor Clothes Drying Line	Yes
Well Ventilated Fridge Space	No



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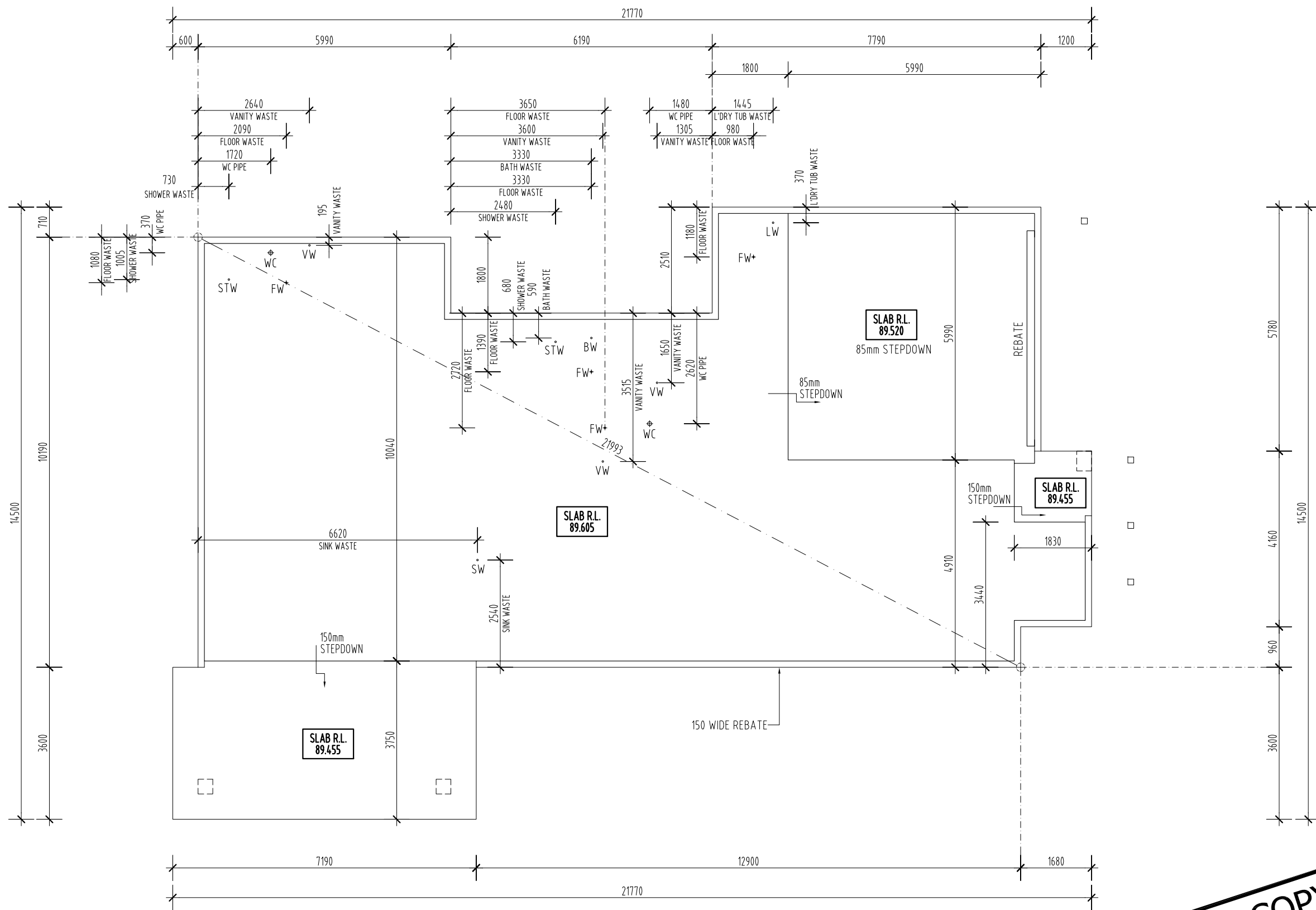
LOT 1427 GOODLUCK CIRCUIT
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DRAWN	AS	DATE	26.10.2017
SCALE	N/A	WIND RATING	N2
JOB No.	4036 D	SHEET	11 of 12

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SLAB AND FOOTINGS TO ENGINEER'S DETAIL

NOTE: ALL PERIMETER DIMENSIONS SHOWN ARE TO THE OUTSIDE OF BRICKWORK



LEGEND

CODE	DESCRIPTION
FW	FLOOR WASTE
STW	SHOWER TRAY WASTE
SW	SINK WASTE
WC	WC PIPE
VW	VANITY WASTE
BW	BATH WASTE
LW	LAUNDRY TUB WASTE



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